

IS IT TIME TO ADD SOME SPACE TO YOUR HOME?

Your Dream Living Space Essential Guide



 Hazlemere

40
YEARS OF

Truly *Magical*
Home Improvements

INTRODUCTION

Is it time to add some space to your home? Maybe you want to enjoy a more open-plan way of life with a large family space that becomes the heart of your home. Or perhaps you want a tranquil space for a little me time. Whatever the reason, a new conservatory is the perfect answer. Use our helpful guide to make the process as smooth as possible, with a result that makes you fall in love with your home again.

Born in the Victorian era, the first conservatories were ornate glass and metal constructions, used to house exotic plants that could be imported from all over the world. In addition to the pursuit

of horticultural expertise, the spaces were also used for the popular Victorian pursuits of reading, music, arts and crafts. Many modern homeowners similarly wish for a private, living space in which to enjoy hobbies and pastimes today, but in contrast to 150 years ago, we are also more likely to hanker for additional space for a gym, home office or larger entertaining space.

Read on for our favourite hints and tips for the perfect addition to your home. If you have any specific questions not answered here, get in touch and we'll be happy to help.



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WHERE TO START?

It's an exciting time now you are ready to take the next step towards your dream home, but with such a major investment, and possibly major structural change to your home, you need to be very confident in the company you select to undertake the work for you.

We all take comfort from a personal recommendation so asking friends and neighbours is a great place to start. Personal recommendations along with an online search or maybe using an independent review site such as Trustpilot, should provide a good shortlist of potential companies.

You should be able to arrange a no-obligation home visit, where you can make sure the company understand exactly what you want to achieve. The right partner will really care about how you want to use the space and suggest

designs and materials that give you a room to enjoy all year round.



Pencil in time to visit a showroom early in the process, not only will you get a feel for the type of company you'll be dealing with, but a good showroom will have a range of conservatories and materials on show for inspiration. You might also pick up some interior design and furnishing ideas during the visit.

Ask what quality of visuals will be provided before you sign on the dotted line, which along with a very clear contract of the scope of work, will eliminate any nasty surprises later on.

DESIGNED
Just for you

A good designer will be able to magic up a 3D walk-through for you, to really help you visualise the space



Visit [hazlemere.co.uk](https://www.hazlemere.co.uk) to book your free no obligation appointment.

HOW TO CHOOSE A COMPANY TO WORK WITH?

You're going to be spending a lot of time together. So, pick a team you not only trust to responsibly deliver a quality build, but who you know will treat your home, and your neighbours, with respect whilst work is ongoing. Here are some questions you may wish to consider.

- ✓ What accreditations do the company have?
- ✓ Are they a member of any trade associations?
- ✓ Do they have independent customer reviews available online?
- ✓ Will they provide references from previous customers?
- ✓ How long has the company been operating?
- ✓ Will they take care of Planning & Building Regulations on your behalf?
- ✓ What are the required payment terms?
- ✓ How robust is any guarantee that's offered?
- ✓ What level of public liability insurance do they carry?
- ✓ How does the provision for after care look?



Hazle's TOP TIP

Be cautious of a company that asks for a very large deposit!



BUILDING REGULATIONS

Most traditional conservatories will not require building regulations, as they will meet the exemption criteria. The roof must be over 70% translucent, with a glazed wall area of over 50%. The floor area mustn't exceed 30 sqm and must be at ground level for the exemption to apply. If you don't plan on having a compliant, thermally broken external door separating the conservatory from the rest of the house, opting instead for open-plan living, then building regulations will be required.

Solid roof conservatories are seen as full home extensions by the planning and building control officers so fall under different planning & building rules than a traditional conservatory. And even if you have planning for an existing structure, changing the roof material, for example, will require approval as the roof finish will have been specified in the granting of planning approval.

WANT A
DIFFERENT

Style?

Changing an existing glass conservatory roof for a solid roof will always require Building Regulations Approval.



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PLANNING PERMISSION

Planning rules have been relaxed in recent years but do remember it is your responsibility as the homeowner to ensure that the correct permissions have been sought before any work takes place. It would be heartbreaking, and costly, to have to dismantle your new living space due to an error with permissions. It is worth noting that many new housing developments do not have permitted development rights, your local authority or developer will be able to confirm.

Adding a traditional conservatory to a house is considered to be permitted development which does not require planning permission, provided certain conditions are met. For example, conservatories (including previous extensions, sheds and outbuildings) must not exceed 50% of the total area of land around the original house* to meet permitted development. This guidance specifically refers to the permitted development allowances for houses. Flats, maisonettes and

listed buildings do not fall within permitted development rights (Article 4 directions), so planning permission will be needed before any changes are made. Most flats are also owned through a leasehold, so you may have to seek the free-holders consent.

A single-storey conservatory must not extend beyond the rear wall of the original house by more than three metres (attached house) or four meters (detached house). If you want a larger extension and don't live in an area of natural outstanding beauty or a conservation area, the Neighbour Consultation Scheme has been introduced to increase the size limits to six meters for an attached house or eight meters for a detached property. In this scenario, the local planning authority must be notified with specified details of the scheme, and they in turn notify all adjoining owners/occupiers. Neighbours must have a minimum of 21 days to raise any objection, and then the planning



authority will make their decision. If approved the extension can proceed, in adherence to the limitations and conditions of permitted development. In our experience, this can take longer than a standard planning application so you may choose to go down the planning permission route anyway.

Side extensions must not be wider than half the width of the original house*, and single storey no higher than four metres, the same maximum height for a single-storey rear conservatory. If your conservatory is within two metres of a boundary the maximum eaves height must be lower than three metres.

Any conservatory on the front or side of the house which will be closer to a public highway, including footpaths, than the original house will need planning permission.

The eaves height of a new conservatory cannot exceed the eaves of the existing house, and the tallest part of the conservatory cannot be higher than the roof ridge line of the existing house.

If planning a conservatory in an area of outstanding beauty or conservation area, extending beyond the side wall of the original house is not permitted development, and no



part of the exterior (including extensions and conservatories) of the dwelling can be clad with stone, artificial stone, render, timber plastic or tiles under permitted development.

Living in a conservation area doesn't discount the possibility of a conservatory. Speak with your local planners to establish what they might consider.



Hazle's TOP TIP

To remain exempt from planning permission any new heating system installed must be independent of the existing boiler.



* Original house means as the property was built, or how it stood on 1 July 1948 if built before that date.

DESIGN IS KEY

It's so important that whoever you work with to plan your new space fully understands what you want to get from the additional living area. It is worth taking a little more time at this planning stage to discuss your requirements in detail, chat over the different ways you may want to use the space and agree on the products that suit your particular project.

A conservatory is a bespoke design construction, and the available space at your property, the character of your existing building and your lifestyle should all be considered for a sympathetic design that adds real value. Your designer should help bring their design to life with high-quality graphics, or even a 3D walkthrough, so you know you'll love the look and feel before you sign on the dotted line.

A reputable company will also be happy to share plenty of photos and videos of their previous work, another great source for identifying the style and type of conservatory you would like.



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VENTILATION & SHADING SHOULD BE JUST SO!

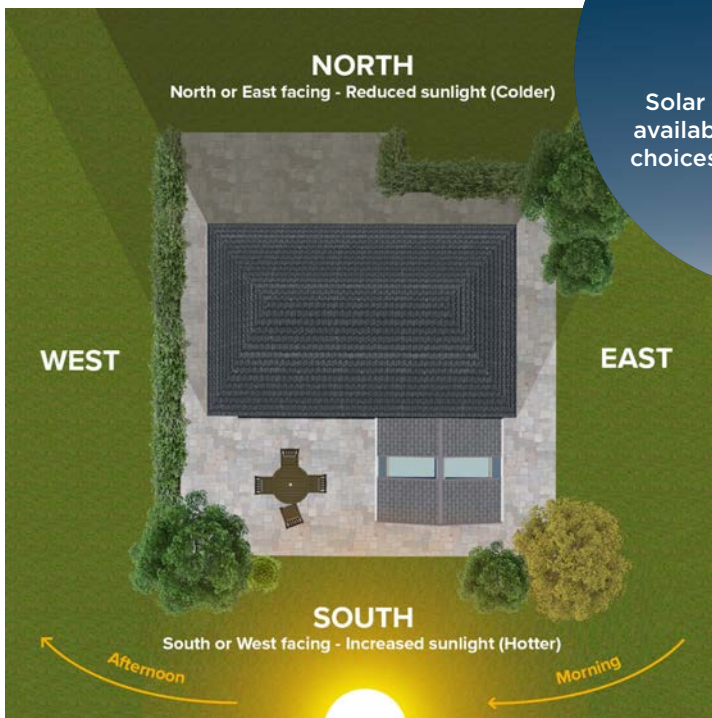


The conservatories of old, especially where a polycarbonate roof was involved, got rather a bad press for being a room that could become too hot in summer and too cold in winter.

Times and technology have moved on, and a conservatory can be designed to deliver an ambient temperature, whatever the season. Heating, ventilation and shading all need to be designed, and your needs should be considered. Your roof type, the use of solar control glass, opening roof vents, the heating system and air exchange systems can all be utilised to deliver a perfect living space.

MAKE IT
Yours

Solar control roof glass is available in different colour choices, to add a subtle hue to the vista.



Your designer will consider the position of any new living space, to ensure temperature control for a comfortable room, whatever the weather.

THE MATERIAL POINT

Once you've agreed on the style and use of the new room, you can then move to construction materials. There are three main frame material options for building a glass extension, UPVC, aluminium and timber.

UPVC owes its popularity in the glazing market to its thermal efficiency, easy maintenance and lightweight structure. UPVC has little integral strength so is reinforced with steel or aluminium sections to offer stability. Whilst this does explain why UPVC frames have to be chunkier, not all UPVC frames are made equal. A higher quality system will achieve a slimmer frame than one at the cheap end of the market. UPVC is also a good option if you want a wood grain effect finish to match your home's existing woodgrain windows.

Aluminium is inherently strong, thus providing slimmer frames and hence more glazing for more light and a less obstructed view. The highly durable powder-coated frames allow for an extensive colour range, and also provide a low maintenance option.



Timber conservatories allow for unrestricted design, unlimited paint options and deliver high thermal performance. The timber sections will need to be large to accommodate the weight of the glazed units it houses, but for some only a timber conservatory will provide the authentic aesthetic desired. Timber constructions will require more maintenance than either the UPVC or aluminium alternatives.



GLOSSARY

Conservatory – The definition of a conservatory states it will have over 70% translucent roof, with a glazed wall area of over 50%.



Solid Roof Conservatory – A brick and glazed structure with a lightweight, thermally efficient roof, it can include glazed panels for additional light.



Permitted Development Rights – Sets out what alterations and extensions an owner can make to their property without needing planning permission.

Designated Land – Includes national parks, areas of outstanding natural beauty (AONB), conservation areas and world heritage sites.

Original House – In planning terms, means how the house was originally built, or as it stood on 1 July 1948 (if built before that date).

Party Wall – A wall that stands on the boundary of land owned by two (or more) different owners, such as the walls that separate terraced houses. Can also be a garden wall.

Party Wall Agreement – If you are planning work near or on a party wall you must tell your neighbours and come up with a written agreement.

Build Over Agreement – A contract is needed with your sewage provider if you are building near or over a sewer.

Flat Roof Extension – A highly thermally efficient roof system.



Orangery – A hybrid between a traditional brick-built extension and a double-glazed conservatory, a brick-built extension with a glass roof.



ACO – Aqua drain or French drain, to divert water away from your property.

Building Regulations - The standards for how buildings must be designed and constructed to ensure the health and safety of people.

Design & Management Regulations 2015 (CDM 2015) – Ensure projects are carried out according to health & safety best practices, a legal requirement for all construction work.

Heat Loss Certificate – Will be required when the property's new extension will open up the home for open-plan living.

Standard Assessment Procedure (SAP Calcs) - The process of calculating and determining the energy performance of your home, required before the heat loss certificate can be issued.

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